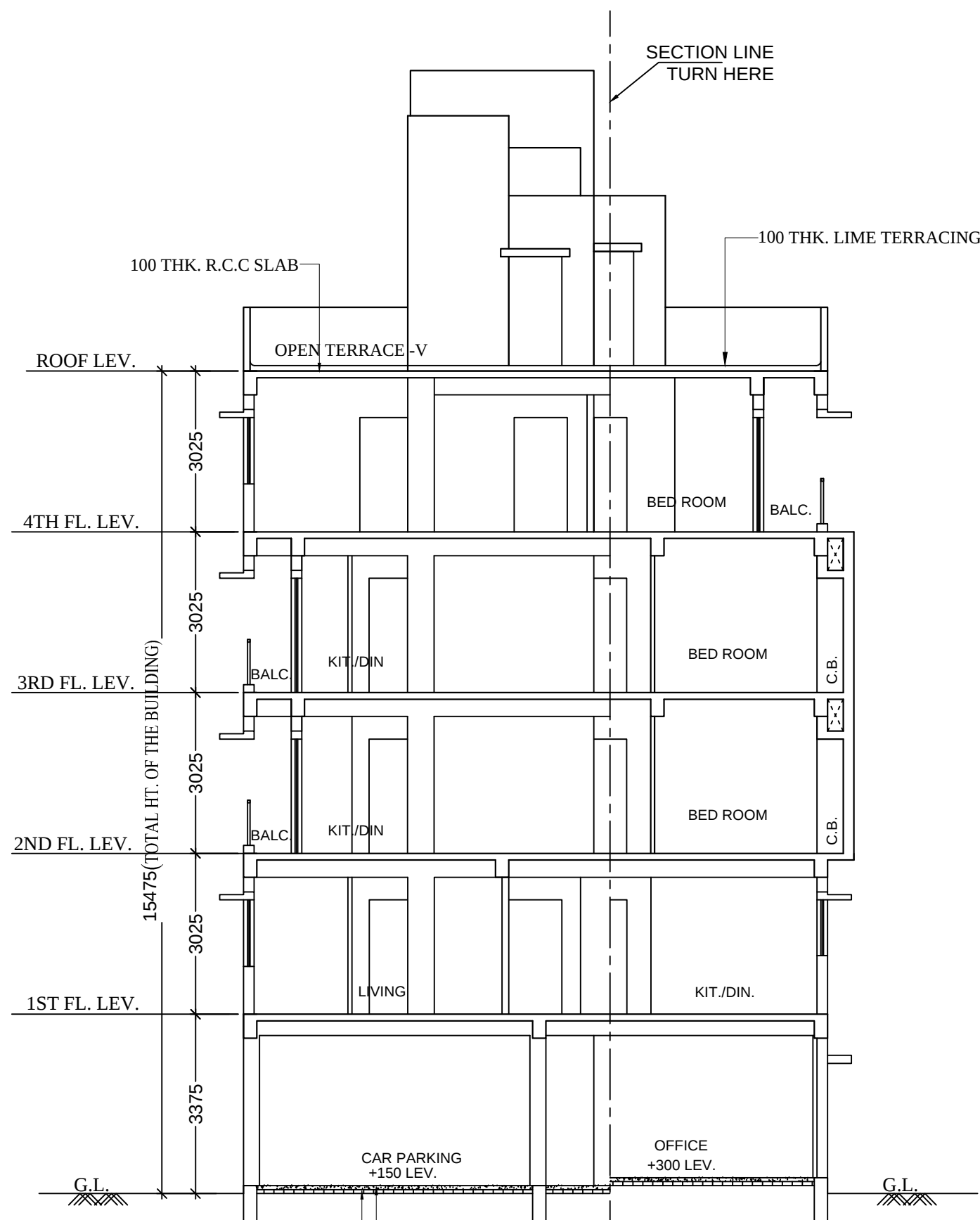
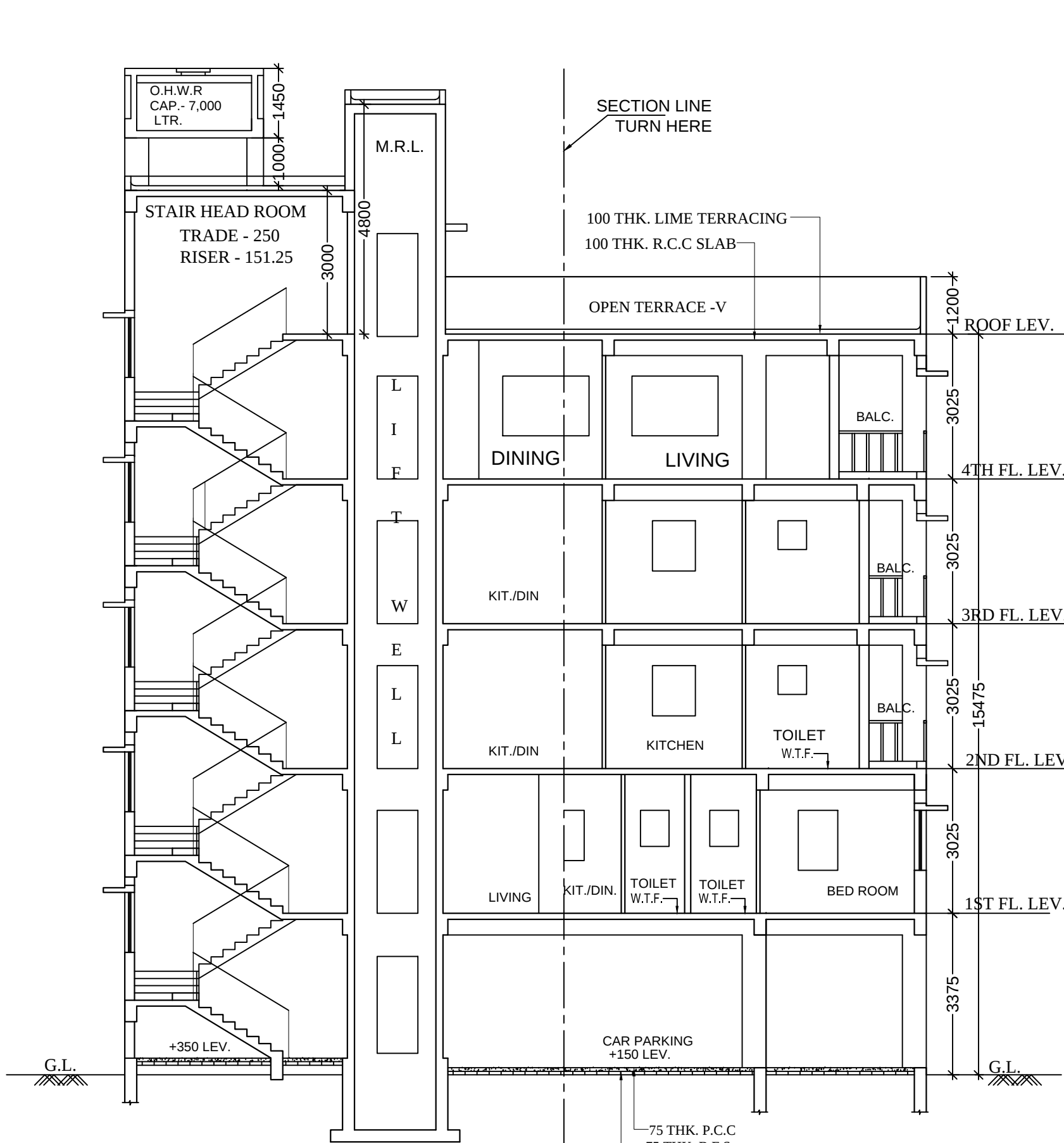




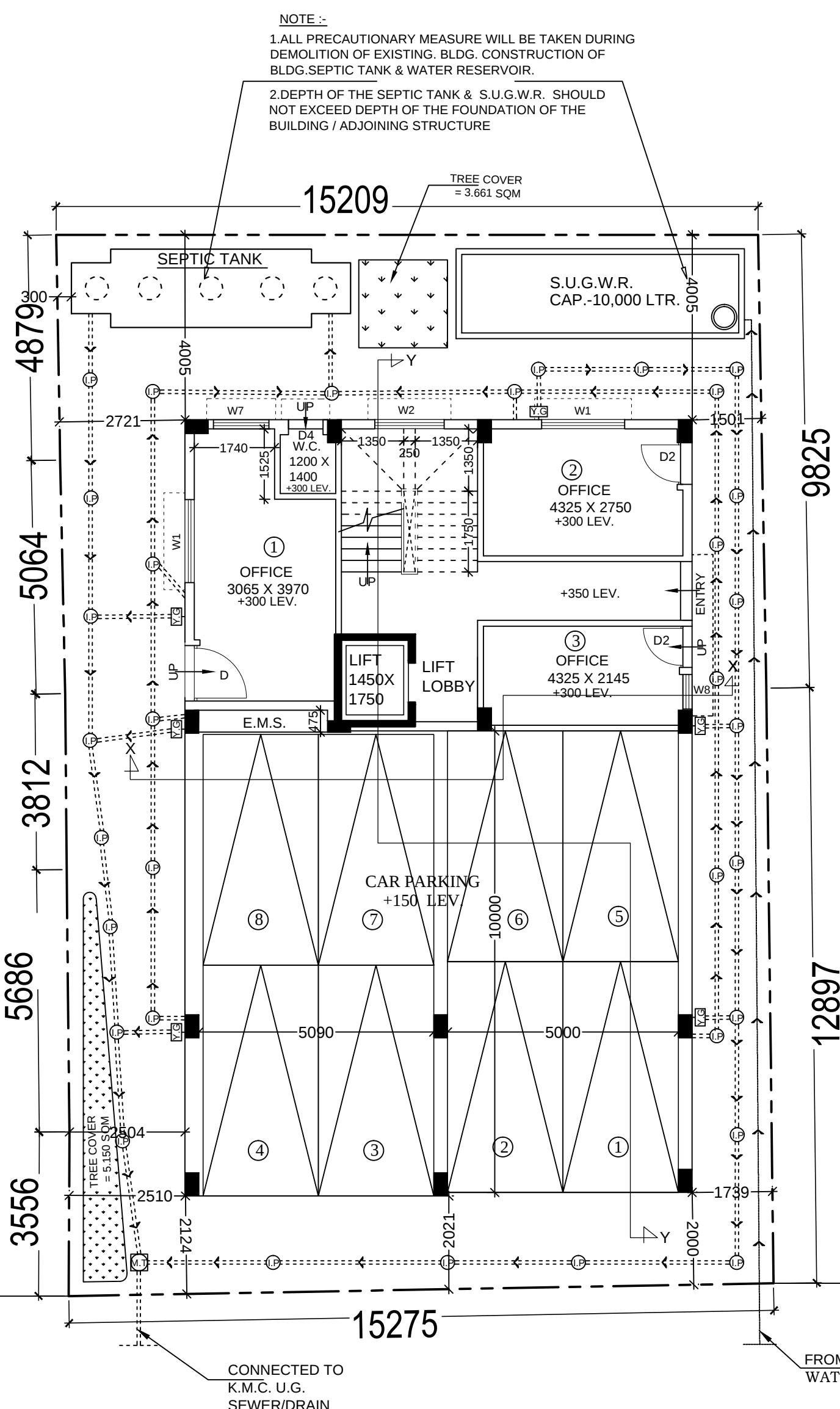
FRONT ELEVATION
SCALE: 1:100



SECTION : X-X
SCALE: 1:100



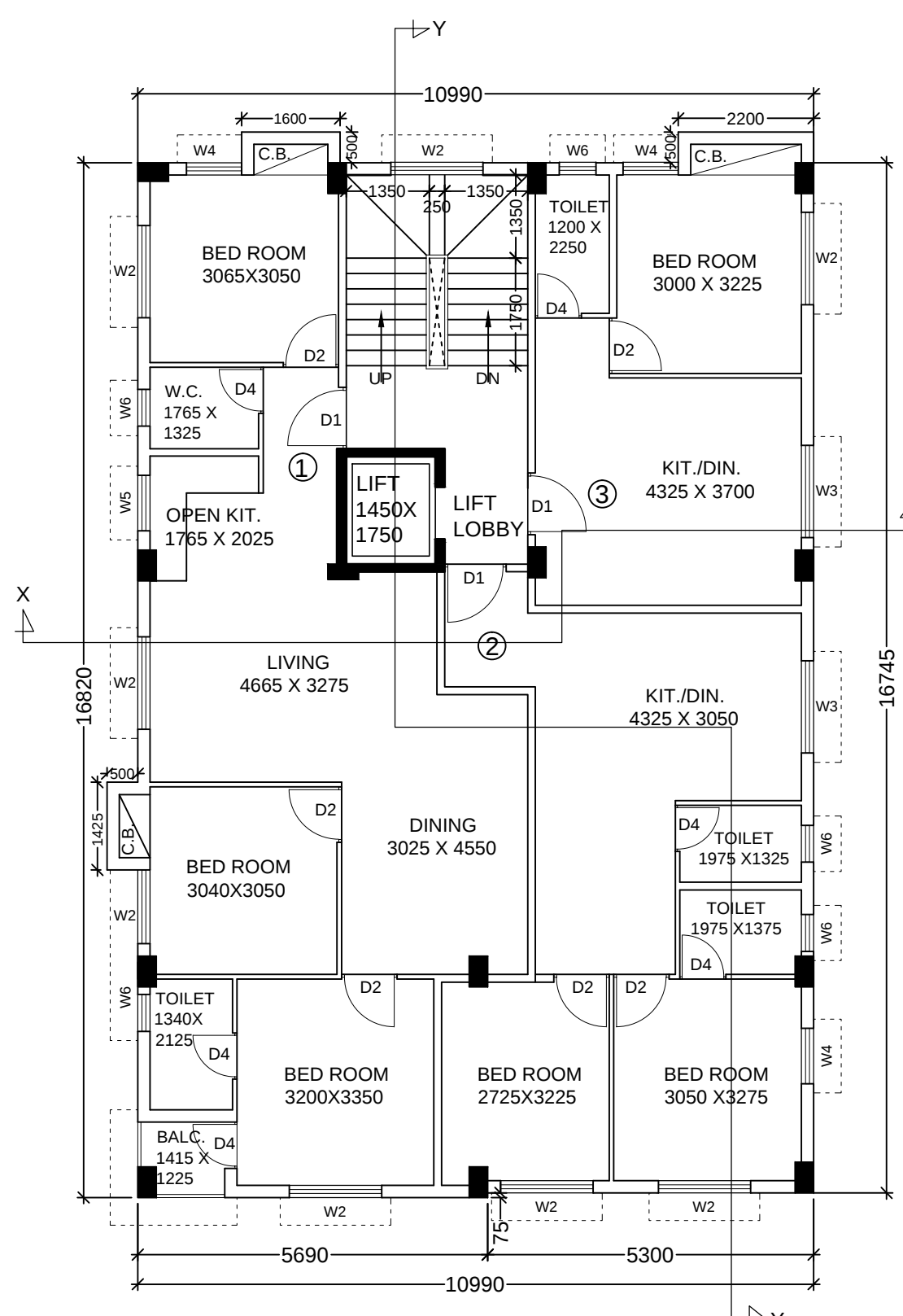
SECTION : Y-Y
SCALE: 1:100



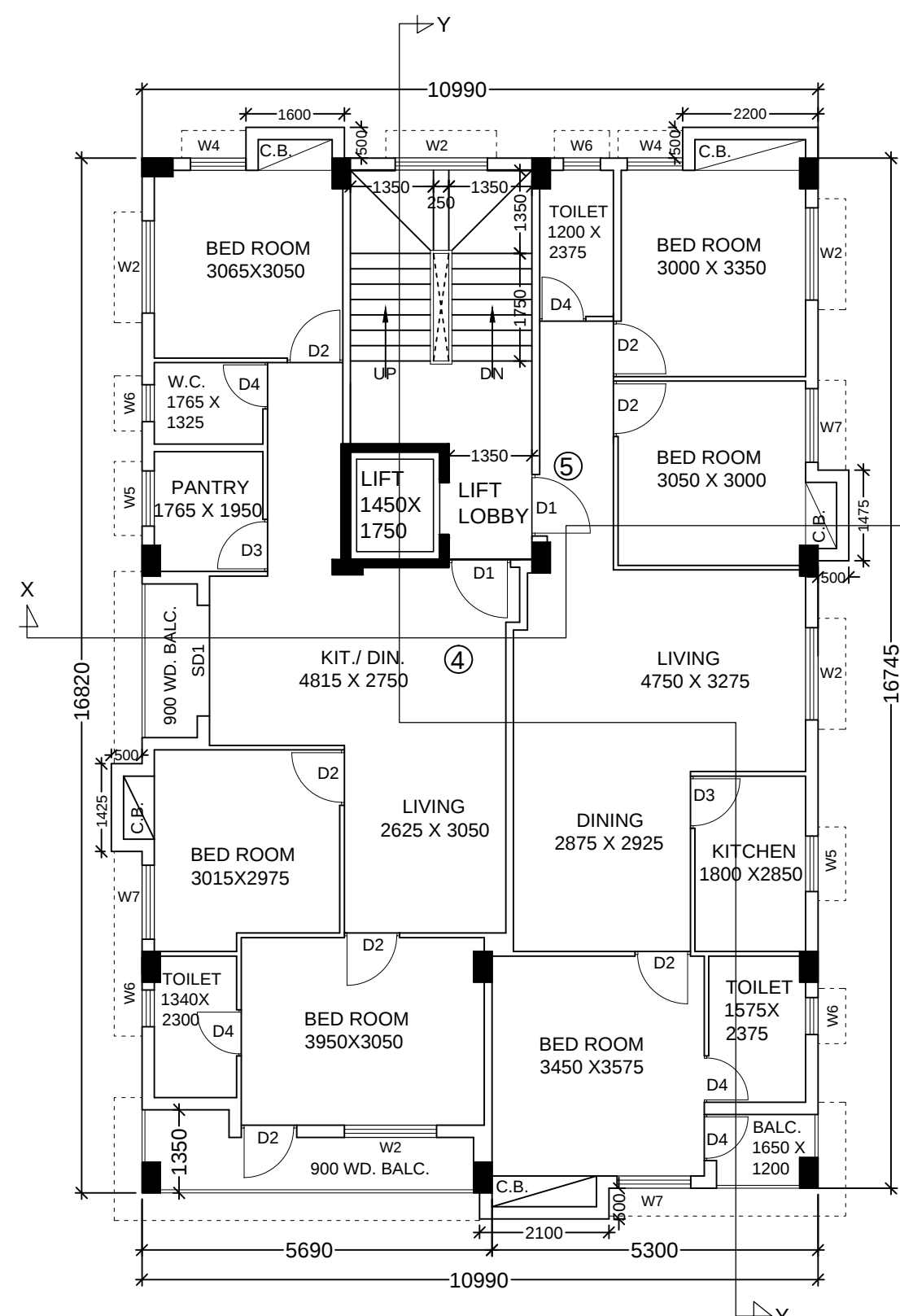
12.192 M. (40'-0") WIDTH JODHPUR PARK ROAD

Certificate in S.O.R VIDE
CH.V.& S.ID NO. 1257/2023-2024
Dated - 06.03.2024

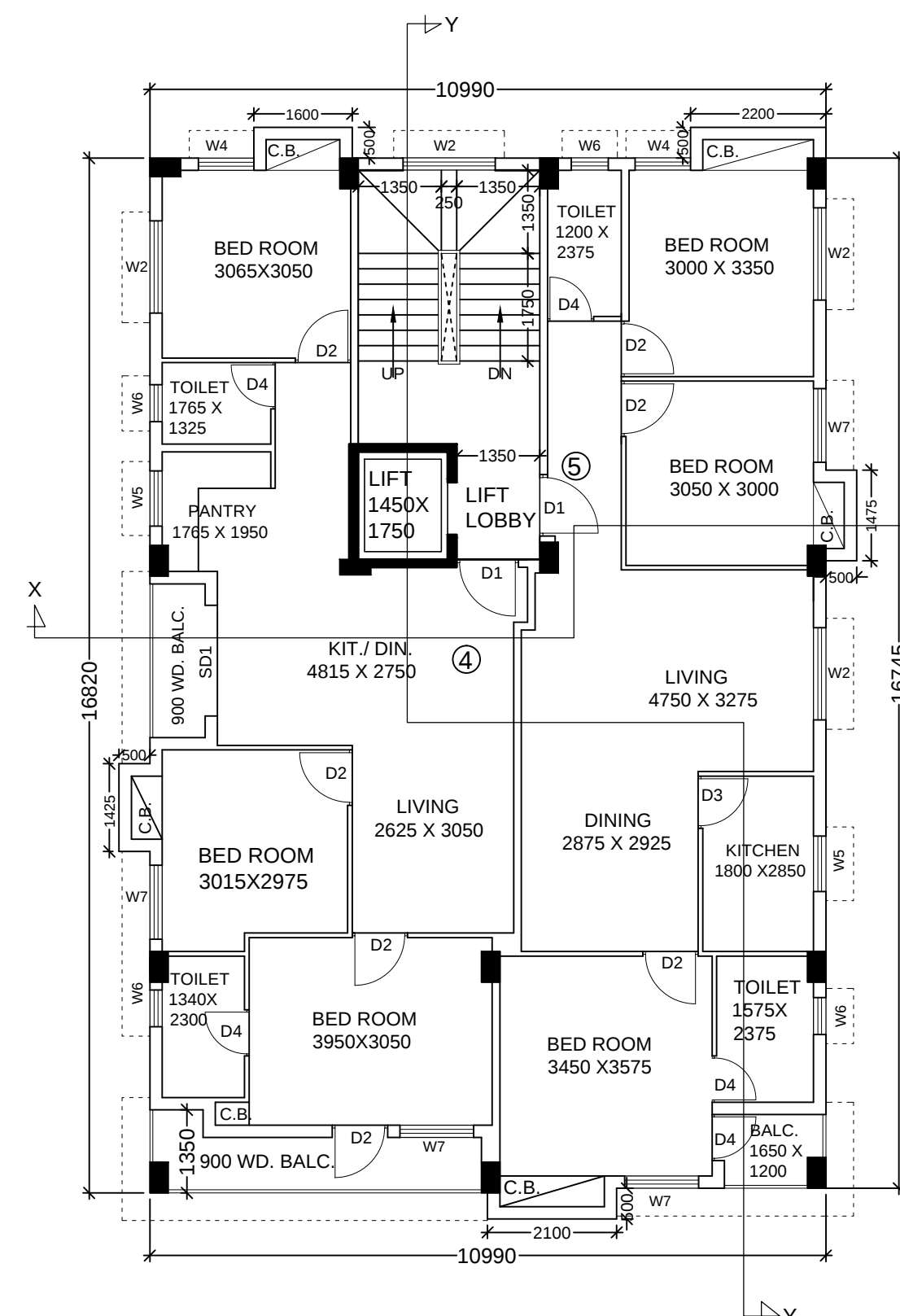
PROP. GROUND FLOOR PLAN
SCALE: 1:100



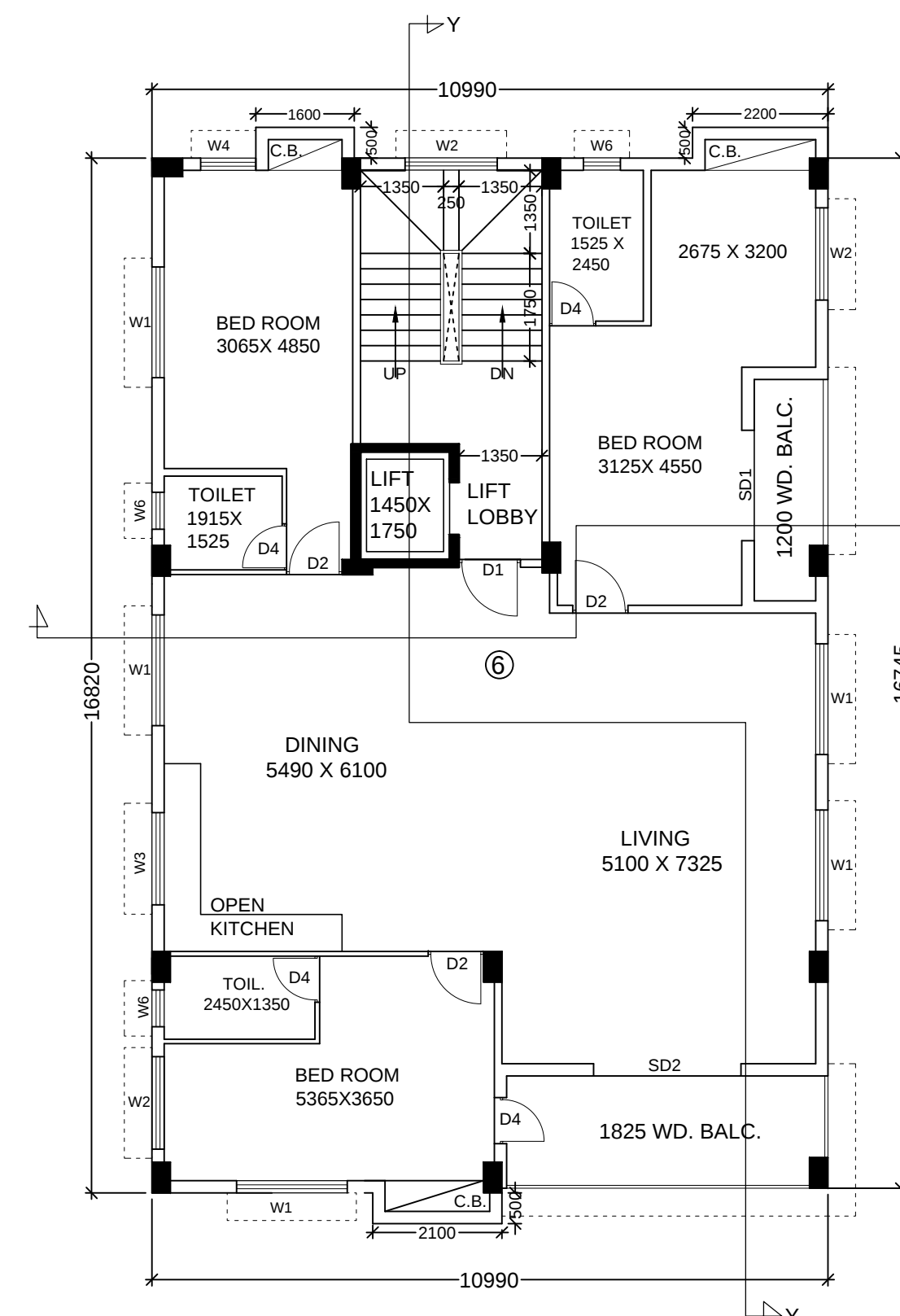
PROP. FIRST FLOOR PLAN
SCALE: 1:100



PROP. SECOND FLOOR PLAN
SCALE: 1:100



PROP. THIRD FLOOR PLAN
SCALE: 1:100



PROP. FOURTH FLOOR PLAN
SCALE: 1:100

STATEMENT OF PLAN PROPOSAL

A.

1. ASSESSE NO - 210930404809

2. DETAIL OF REGISTERED DEED :

BOOK NO : I VOL. NO : 1604 - 2023 PAGE NO : 390636 TO 390658 BEING NO : 160412668
YEAR : 2023 PLACE : D.S.R. - IV, SOUTH 24 PARGANAS, WEST BENGAL DATE : 16/10/2023
BOOK NO : I VOL. NO : 1604 - 2023 PAGE NO : 390612 TO 390635 BEING NO : 160412669
YEAR : 2023 PLACE : D.S.R. - IV, SOUTH 24 PARGANAS, WEST BENGAL DATE : 16/10/2023
BOOK NO : I VOL. NO : 1604 - 2023 PAGE NO : 376371 TO 376396 BEING NO : 160410808
YEAR : 2023 PLACE : D.S.R. - IV, SOUTH 24 PARGANAS, WEST BENGAL DATE : 06/10/2023
BOOK NO : I VOL. NO : 1604 - 2023 PAGE NO : 390659 TO 390680 BEING NO : 160412667
YEAR : 2023 PLACE : D.S.R. - IV, SOUTH 24 PARGANAS, WEST BENGAL DATE : 16/10/2023
BOOK NO : I VOL. NO : 1604 - 2023 PAGE NO : 331164 TO 331188 BEING NO : 160410737
YEAR : 2023 PLACE : D.S.R. - IV, SOUTH 24 PARGANAS, WEST BENGAL DATE : 29/08/2023
BOOK NO : I VOL. NO : 1604 - 2023 PAGE NO : 326514 TO 326554 BEING NO : 160410229
YEAR : 2023 PLACE : D.S.R. - IV, SOUTH 24 PARGANAS, WEST BENGAL DATE : 25/08/2023
BOOK NO : I VOL. NO : 153 PAGE NO : 349 TO 364 BEING NO : 4447
YEAR : 2001 PLACE : A.D.S.R. AUPORE, SOUTH 24 PARGANAS, WEST BENGAL DATE : 20/11/2021
3. DETAIL OF REGISTERED DEED OF GIFT :
a) BOOK NO : I VOL. NO : 1604 - 2023 PAGE NO : 321911 TO 321930 BEING NO : 160410038
YEAR : 2023 PLACE : D.S.R. - IV, SOUTH 24 PARGANAS, WEST BENGAL DATE : 22/08/2023
4. DETAIL OF GENERAL POWER OF ATTORNEY :
a) BOOK NO : I VOL. NO : 1604 - 2023 PAGE NO : 327105 TO 327124 BEING NO : 160410333
YEAR : 2023 PLACE : D.S.R. - IV, SOUTH 24 PARGANAS, WEST BENGAL DATE : 25/08/2023
5. DETAIL OF BOUNDARY DECLARATION :
a) BOOK NO : I VOL. NO : 1604 - 2024 PAGE NO : 34645 TO 34663 BEING NO : 160400829
YEAR : 2024 PLACE : D.S.R. - IV, SOUTH 24 PARGANAS, WEST BENGAL DATE : 01/02/2024

6. a) AREA OF LAND : 347.733 SQ.M / 5K- 03 CH- 08 SQ.FT (AS PER DEED)
b) NO. OF STOREY : G + IV

PART B

1. PROPOSED GROUND COVERAGE : 184.454 SQ.M
2. F.A.R. CONSUMED : 2.25
3. TOTAL COVERED AREA : 910.366 SQ.M
4. TOTAL CAR PARKING AREA : 110.237 SQ.M
5. NO OF REQUIRED CAR PARKING SPACE : 03 NOS
6. NO OF PROVIDED CAR PARKING SPACE : 8 NOS (COVERED)
7. PROPOSED HEIGHT : 15.475 MT.

STATEMENT OF AREA

LAND AREA : 347.733 SQ.M / 5K- 03 CH- 08 SQ.FT (AS PER DEED & ASSESSMENT BOOK)
: 347.733 SQ.M (AS PER BOUNDARY DECLARATION)
PERMISSIBLE F. A. R. : 2.25
PERMISSIBLE GROUND COVERAGE : 191.516 SQ.M (55.076%)
PROPOSED GROUND COVERAGE : 184.454 SQ.M (53.045%)
:- PROPOSED AREA :-

	COVERED AREA	(CUT OUT) EFFECTIVE FLOOR AREA	(CUT OUT) STAIR WAY	(CUT OUT) LIFT LOBBY AREA	NET FLOOR AREA
GR. FLOOR AREA	184.454 SQ.M	184.454 SQ.M	12.690 SQ.M	2.558 SQ.M	169.206 SQ.M
1ST FLOOR AREA	184.454 SQ.M	0.438 SQ.M	2.538 SQ.M	181.478 SQ.M	12.690 SQ.M
2ND FLOOR AREA	184.454 SQ.M	0.438 SQ.M	2.538 SQ.M	181.478 SQ.M	12.690 SQ.M
3RD FLOOR AREA	184.454 SQ.M	0.438 SQ.M	2.538 SQ.M	181.478 SQ.M	12.690 SQ.M
4TH FLOOR AREA	184.454 SQ.M	0.438 SQ.M	2.538 SQ.M	181.478 SQ.M	12.690 SQ.M
TOTAL FLOOR AREA	922.270 SQ.M	1.752 SQ.M	10.152 SQ.M	910.366 SQ.M	834.234 SQ.M
TOTAL EXEMPTED AREA	63.450 + 12.682 + 78.132 SQ.M				

PREMISES NO : 1/365A, JODHPUR PARK, ASSESSEE NO : 210930404809
NAME OF THE OWNER(S) APPLICANT : SATVIC PROJECTS PRIVATE LIMITED BY ITS DIRECTOR MR. SATVIC VIVEK RUIA, BISHWARUP CHAKRABARTI, PARTHA BHATTACHARYA, SAMIR KUMAR CHAKRABORTY, KRISHNA SINGH.
AREA OF LAND : 5K- 03 CH- 08 SQ.FT = 347.733 SQ.M.
NAME OF ARCHITECT : ANJAN UKIL NO: CA/94/16721
PERMISSIBLE HEIGHT IN REFERENCE TO CCZM ISSUED BY AAI: 43.000M
CO-ORDINATE IN WGS 84 AND SITE ELEVATION (AMSL):

POINT MARK	LATITUDE (N)	LONGITUDE (E)	SITE ELEVATION (AMSL) (MTR)
1	22°30'11.7"N	88°21'56.2"E	6.0
2	22°30'11.6"N	88°21'55.9"E	6.0
3	22°30'12.3"N	88°21'55.7"E	6.0
4	22°30'12.4"N	88°21'56.1"E	6.0

THE ABOVE INFORMATION IS TRUE AND CORRECT IN ALL RESPECT AND IF AT ANY STAGE, IT IS FOUND OTHERWISE, THEN I SHALL BE FULLY LIABLE FOR WHICH KMC AND OTHER APPROPRIATE AUTHORITY RESERVE THE RIGHT TO TAKE APPROPRIATE ACTION AGAINST ME AS PER LAW.

TOTAL BUILT - UP AREA	= 834.234 SQ.M
BONUS FOR CAR PARKING	= 110.237 SQ.M
NET BUILT UP AREA (834.234 - 75)	= 759.234 SQ.M
PROPOSED F.A.R. = (759.234 / 347.733)	= 2.183 < 2.25
TENEMENTS & CAR PARKING CALCULATION :-	
MARKED	TENEMENT SIZE
1	79.566 SQ.M
2	51.938 SQ.M
3	33.702 SQ.M
4	82.426 SQ.M
5	82.780 SQ.M
6	165.206 SQ.M
Business (Office) Carpet Area Above 50 Sqm.	
one car parking space	
Car pet Area Business (Office Space) - 37.182 Sqm.	
Total Required Parking	= 3 NOS
PERMISSIBLE AREA FOR PARKING	= 75 SQ.M (25X03)
PROVIDED AREA OF PARKING	= 110.237 SQ.M
TOTAL RESIDENTIAL AREA	= 865.716 SQ.M.
BUSINESS (OFFICE) BUILT UP AREA	= 44.656 SQ.M.
BUSINESS (OFFICE) CARPET AREA	= 37.182 SQ.M.
OPEN TERRACE AREA	= 184.454 SQ.M
TOTAL CUPBOARD AREA	= 14.333 SQ.M.
STAIR HEAD ROOM AREA	= 16.043 SQ.M.
MACHINE ROOM LESS LIFT AREA	= 7.331 SQ.M.
OVER HEAD TANK AREA	= 0.005 SQ.M.
W.C. AREA AT ROOF	= 2.970 SQ.M.
ROOF STRUCTURE AREA	= 26.433 SQ.M.
ADDITIONAL FLOOR AREA FOR FEES	= (14.333+16.043+7.331+2.970) = 40.677 SQ.M
TOTAL AREA FOR FEES	= (40.677+910.366) = 951.043 SQ.M
REQUIRED GREEN AREA	= (951.043X15%) = 8.268 SQ.M.
PROVIDED OF GREEN AREA	= 8.811 SQ.M
CERTIFICATE OF GEO TECHNICAL ENGINEER	

UNDERSIGNED HAS INSPECTED THE SITE & CARRIED OUT OF SOIL INVESTIGATION THEREIN, IT IS CERTIFIED THAT EXISTING SOIL OF THE SITE IS ABLE TO CARRY OUT THE LOAD FROM THE PROPOSED CONSTRUCTION & THE FOUNDATION SYSTEM THERE IN AS DESIGNED BY ESE IS SAFE & STABLE IN ALL RESPECT FROM GEO-TECHNICAL POINT OF VIEW.

ALOK ROY G.T.E. - I/11
NAME OF GEOTECHNICAL ENGINEER

CERTIFICATE OF STRUCTURAL ENGINEER

THE STRUCTURAL DESIGN OF BOTH FOUNDATION AND SUPERSTRUCTURE OF THE BUILDING MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER I.B.C OF INDIA ON THE BASIS OF SOIL INVESTIGATION REPORT DONE BY DR. ALOK ROY G.T.E. K.M.C. NO.- I/11. CERTIFY THAT IT IS SAFE AND STABLE IN ALL RESPECT.

(SANKAR DAS E.S.E-I/12)
NAME OF STRUCTURAL ENGINEER

DECLARATION OF ARCHITECT.

CERTIFIED ON THE PLAN IT SELF WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS DRAWN UP AS PER PROVISION OF K.M.C. BUILDING RULE 2009, AS AMENDED FROM TIME TO TIME AND THE SITE CONDITION INCLUDING THE ABUTTING ROAD IS CONFORM WITH THE PLAN. IT IS A BUILDABLE SITE NOT A TANK OR FILLED UP TANK.

ANJAN UKIL
CA/94/16721
NAME OF ARCHITECT

DECLARATION OF OWNER/ APPLICANT

I DO HEREBY DECLARE WITH FULL RESPONSIBILITY THAT I SHALL ENGAGE ARCHITECT & E.S.E DURING CONSTRUCTION. I SHALL FOLLOW THE INSTRUCTION OF ARCHITECT & E.S.E DURING CONSTRUCTION OF THE BUILDING (AS PER PLAN). K.M.C AUTHORITY WILL NOT BE RESPONSIBLE FOR STRUCTURAL STABILITY OF THE BUILDING & ADDING STRUCTURE IF ANY UNAUTHORIZED DOCUMENT ARE FAKE. THE K.M.C AUTHORITY REVOKE THE SANCTION PLAN. THE CONSTRUCTION OF S.U.G.W. RESERVOIR MAY BE TAKEN UNDER THE GUIDANCE OF ARCHITECT / E.S.E BEFORE STARTING OF BUILDING FOUNDATION. DURING INSPECTION OF THE SITE WAS IDENTIFIED BY US. THERE IS NO COURT CASE PENDING AGAINST THIS PREMISES THERE IS AN EX STULC. TO BE DEMOLISHED BEFORE COMMENCEMENT OF WORK IT IS FULLY OCCUPIED BY THE OWNER. THERE IS NO TENENT.

SATVIC PROJECTS PRIVATE LIMITED BY ITS DIRECTOR MR. SATVIC VIVEK RUIA, BISHWARUP CHAKRABARTI, PARTHA BHATTACHARYA, SAMIR KUMAR CHAKRABORTY, KRISHNA SINGH.

NAME OF OWNER/APPLICANT

GROUND FLOOR PLAN, TYPICAL (1ST TO 4TH) FLOOR PLANS, ROOF PLAN, FRONT ELEVATION & SECTIONS.

PROJECT.
PROPOSED G + IV (15.475 MT.) STORIED RESIDENTIAL BUILDING U/S 393A OF KMC ACT 1980, COMPLYING KMC BUILDING RULE 2009 AT PREMISES NO:- 1/365 A, GARIAHAT ROAD, KOLKATA-700 068, WARD NO.-93. BR.- X, P.S.- LAKE UNDER K.M.C

JOB NO.	DRG. NO.	DATE	DEALT
1289		05/04/2024	RITA
SCALE -1:100		Anjan Ukil architect	
B.P. NO:- 2024100038		DATED:- 13/05/2024	
VALID UPTO:- 12/05/2029			
Digital Signature of A.E(C)/Bldg/KMC		Digital Signature of E.E(C)/Bldg/KMC	